

# ACCESSIBILITY ASSESSMENT



**BUREAU  
VERITAS**

*prepared for*

**Housing Authority Prince George's County**  
9200 Basil Court  
Largo, Maryland 20774  
Michael Jackson



## **PREPARED BY:**

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## **BUREAU VERITAS PROJECT #:**

145366.21R000-005.160

## **DATE OF REPORT:**

July 13, 2021

## **ON-SITE DATE:**

May 20, 2021

## **ADA TITLE II ASSESSMENT**

OF

Marlborough Town  
1847 Tanow Place  
District Heights, Maryland 20747

**Bureau Veritas**

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# 1 EXECUTIVE SUMMARY

## 1.1 SUMMARY OF FINDINGS

The Client contracted with Bureau Veritas to conduct a Title II Accessibility Assessment of Marlborough Town. The purpose of this investigation and report is to provide the Client with accessibility recommendations concerning Marlborough Town.

The site was visited on May 20, 2021. Weather conditions at the time of the on-site visit were clear, with temperatures in the 80's (°F) and negligible winds.

### SIGNIFICANT ISSUES:

Significant barriers to accessibility are present at the amenities listed below. The issues prevent full accessibility at the amenity and are the most substantial non-compliant elements. Additional barriers may be present at the amenity. Further detail is provided in Section 2 and Appendix B of the report.

#### Exterior Accessible Routes

- A compliant route is not provided to the street.
- The accessible space has slopes greater than 2.08%.
- The curb ramp is not compliant.

#### Interior Access

- The workstations do not provide compliant knee clearance.
- The toilet does not have adequate clear space.
- The kitchen does not provide adequate clear space.

It is the responsibility of the owner to assess the requirement for barrier removal under Title I Employment, Title II State and Local Government Services, Title IV Telecommunications, Title V Miscellaneous of the ADA to create an accessible environment. Not all physical barriers identified in this report may need to be corrected. Some barriers may be the responsibility of others or can be corrected through programmatic change. It is incumbent upon the owner to initiate a transition planning process to outline which barrier will be corrected and when correction should take place. For further explanation, see Section 1.4, Scope of Work.

Each area of concern observed and identified by Bureau Veritas is detailed in this report, which includes Bureau Veritas's scope and methodology; ADA elements reviewed; individual observation details with recommendations and order of magnitude estimated costs; site plans with observation location data; and supporting materials.

## 1.2 ACCESSIBILITY SUMMARY TABLE

Based on the onsite review, Bureau Veritas found that barriers to accessibility exist at Marlborough Town. The observed elements were analyzed using the 2010 ADA Standards for Accessible Design, state and local accessibility codes. The barriers are summarized in Section 2.1.

Bureau Veritas's assessment of the subject property identified the following areas of concern:

### MARLBOROUGH TOWN - TITLE II ACCESSIBILITY ASSESSMENT - ACCESSIBILITY SUMMARY

Accessibility Summary Report

7/14/2021

Facility / Building	Priority 1		Priority 2		Priority 3		Priority 4		Priority 5		Total	
	Est. Cost	Items	Est. Cost	Items	Est. Cost	Items	Est. Cost	Items	Est. Cost	Items	Est. Cost	Items
Marlborough Towne												
EXTERIOR	\$78,382	16									\$78,382	16
INTERIOR COMMON AREAS	\$1,616	2	\$2,005	2	\$2,157	5	\$759	1			\$6,537	10
INTERIOR UNITS	\$4,768	1	\$22,400	2	\$9,195	3	\$800	1			\$37,163	7

Order of magnitude costs to address those elements are described individually in Appendix B.

## 1.3 PURPOSE

The purpose of this report is to assist the Client in evaluating the compliance of certain exterior and interior elements with the requirements of Title II of the Americans with Disabilities Act (ADA) and applicable state and local codes and regulations.



## 1.4 SCOPE OF WORK

### ADA TITLE II ASSESSMENT

A Subject Matter Expert will visit the properties to assess the compliance of existing property improvements with the Title II provisions of the Americans with Disabilities Act (ADA) and applicable state requirements. Bureau Veritas then produces a report which identifies each facility's observed compliance issues and specific barriers, along with proposed remedies. Bureau Veritas endeavors to include all barriers within the defined scope of work area, however, some barriers may not be identified in the report. Bureau Veritas provides order of magnitude cost estimates directly associated with each barrier but does not provide engineered construction documents or construction cost estimates of barrier removal.

The field observer will review of the facility's common areas to observe and identify representative barriers to accessibility and formulate recommendations to remedy the physical barriers. As a part of the review, the field observer will meet with a property representative with specific knowledge of the facility to gain a clear understanding of overall features, public use patterns, and relevant historical data. The ADA covers both public areas and employee-only areas for Title II entities. For the purposes of this portfolio, only public, non-tenant owned features of the property will be subject to observation and will not include employee-only areas. Public, non-tenant areas will include but not be limited to, parking lots, sidewalks, access ramps, and exterior and interior common areas accessible to the public.

Title II entities are obligated to remove barriers under the requirements of the ADA as follows:

*Facilities constructed prior to January 26, 1992*— elements that do not comply with the 2010 ADA Standards are not required to be made compliant, unless alteration to those elements takes place. If elements are altered, then compliance with the 2010 Standards is required.

*Facilities constructed between January 26, 1992 and March 15, 2012* – were required to comply with 1991 ADA Standards when constructed. If full compliance with the 1991 ADA Standards was not achieved by March 15, 2012, then the facilities must comply with the 2010 Standards. If elements in compliance with the 1991 Standards were altered after March 15, 2012, then compliance with the 2010 Standards is required.

*Facilities constructed on March 15, 2012 to present*- new construction, additions and alterations must be fully compliant with the 2010 ADA Standards for Accessible Design.

#### **Alterations and Additions-**

Additions and alterations undertaken at existing facilities are covered by the 2010 ADA Standards for Accessible Design. The extent of application is largely determined by a project's scope of work as the standards apply to those elements or spaces that are altered or added. Additional requirements apply to projects that affect or could affect the usability of, or access to, an area containing a primary function.

Alterations are defined in the standards as "a change in a building or facility that affects or could affect the usability of a building or facility or portion thereof." Many types of projects are covered as "alterations," including remodeling, renovation, rehabilitation, reconstruction, restoration, resurfacing of circulation paths or vehicular ways, and changes or rearrangement of structural parts, elements, or walls. Normal maintenance, reroofing, painting or wallpapering, or changes to mechanical and electrical systems are not considered alterations unless they affect a facility's usability. For example, a project limited to an HVAC system that includes the addition of thermostats would affect a facility's usability because it involves elements (operable parts) covered by the standards. The Department of Justice has determined that restriping of parking lots is considered an alteration of the parking facility.

The standards ensure that the opportunities for accessibility presented by an alteration are taken. How and to what extent the standards apply is determined by the scope of a project and the elements and spaces altered. Only those elements or spaces altered are required to comply, but alterations made to areas containing a primary function (a major activity for which a facility is intended) also require an accessible path of travel.

If alterations are limited only to elements in a room or space, then the standards apply only to the elements altered. Similarly, where spaces are altered, the standards apply to those spaces that are altered. If a room or space is completely altered (or built new as part of an alteration), the entire room or space is fully subject to the standards. Compliance is required to the extent that it is technically feasible.

Projects that increase, expand, or extend a facility's gross floor area or height of a facility are considered additions and must comply with the requirements of the standards applicable to new construction. Existing elements and spaces affected by an addition are treated as alterations and qualify for certain allowances or exceptions that are not permitted in new construction.

Compliance in an alteration is not required where it is "technically infeasible." The term is defined as "something that has little likelihood of being accomplished because existing structural conditions would require removing or altering a load-bearing member that is an essential part of the structural frame; or because other existing physical or site constraints prohibit modification or addition of elements, spaces, or features that are in full and strict compliance with the minimum requirements." Where technical infeasibility is encountered, compliance is still required to the maximum extent technically feasible.

### FIELD OBSERVATION PROCESS

The field observer will first review documents and information provided by the owner or owner's representative that could supplement the consultant's knowledge of the subject property's physical improvements, extent and type of use, and/or assist in identifying barriers to accessibility.

During the site visit, the field observer will utilize a Survey Form that meets or exceeds the current ADAAG format, and will utilize a digital level, measuring tape, pressure gauge and digital camera. The field observer will identify and prioritize observed existing improvements which are not in accordance with the applicable ADA requirements in the order of preference as set out by the DOJ and refined by Bureau Veritas per client preferences. Typical priorities are as follows:

- Physical access to the property
- Access to areas of commerce or public accommodation

The Bureau Veritas team will assess exterior common areas and interior common areas that are defined as areas of public accommodation. Bureau Veritas will identify existing conditions that are not in accordance with the ADA Accessibility Guidelines, including the elements specified below (if applicable, where landlord is responsible for observed elements):

- Passenger loading zones
- Parking: van and standard car accessible stalls, signage, and markings
- Exterior accessible routes, including travel on vehicular ways, sidewalks and paths
- Ground and floor surfaces
- Curb ramps and other ramps: size, distance, slope, rails and surface finishes
- Interior accessible routes
- Exterior and interior stairs which are part of the means of egress
- Elevators and platform lifts (wheelchair lifts)
- Entrances and exits to common areas
- Handrails and grab bars
- Space allowance and reach ranges
- Restrooms
- Alarms (visual and audible) and warnings
- Signage- Braille, and visual characters
- Public telephones
- Switches and outlets

## REPORT CONTENT

Bureau Veritas will deliver a consolidated AssetCalc™ database, which will be capable of exporting electronic (PDF) reports for each property surveyed which will include:

- Summary of Findings for all primary features (for example, parking stalls, curb ramps, paths of travel, restrooms);
- Individually recorded barriers
- Digital photos of observed barriers
- Geocode references for the location of observed exterior barriers
- Applicable ADA and state regulatory references
- Recommendations for viable corrective measures necessary to comply with regulations
- Order of magnitude cost estimates for each barrier

The estimates for the non-compliant items noted within this report are summarized in Section 2.1, and individual barrier details are provided in Appendix B.

## 1.5 HISTORIC AMENITIES

This property does not contain any amenities which are listed on the National Register of Historic Places or a state or local registry of historic elements.

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### 1.5.1 BASIS FOR ORDER OF MAGNITUDE COSTS

Order of magnitude estimates are based on invoice or bid documents provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means* and *Marshall & Swift*, Bureau Veritas's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions. Typically, barrier removal allowances are based upon the removal of the specific element being evaluated (for example, parking stall, curb ramp, restroom). Architectural plans for renovation of areas requiring barrier removal or grading plans based on field surveys using land surveyor instrumentation could result in significantly different material quantities and subsequent higher project costs. Bureau Veritas has no control over the final scope of work, pricing methods, and costs associated with a contractor constructing the project. The opinion of estimated costs within this report cannot guarantee that the costs will accurately reflect the actual bids for construction.



## 1.5.2 CRITERIA FOR PRIORITY LEVELS

The scope of this assessment is limited to exterior site features and amenities, specifically accessible parking and exterior accessible pedestrian paths of travel to and from the amenities and features provided at each site. This includes parking, public transportation, retail, restaurant, office and industrial space, where applicable. As such, Bureau Veritas prioritized each of the captured barriers based on modified, published Department of Justice (DOJ) criteria focusing on the primary scope of work. Interior spaces such as common corridors, restrooms, kitchens and other interior elements along the common path of travel, such as water fountains, that are the responsibility of the property owner, are included.

The ADA also regulates employee work areas. Common corridors used by employees, employee restrooms, employee kitchens and employee break rooms are not considered “employee work areas.” Those areas, even if used by employees only, shall comply with the ADA regulations which govern corridors, restrooms, kitchens and break rooms. The scope of this project does not include employee-only areas.

Per DOJ Guidelines, *people with disabilities should be able to arrive on the site, approach the building or facility and its amenities, and enter as freely as everyone else.*

### Priority 1:

**Accessible Van Parking** – Access to a facility begins with accessible parking. Van accessible parking is deemed an important barrier for parking. Those with the most severe disabilities tend to require a van accessible space to accommodate their vehicle and mobility device. In addition, a minimum number of van accessible spaces is required. Barriers associated with the compliance of a van accessible space include signage, restriping, constructing or reconfiguring the pavement to accommodate the required number of spaces.

**Accessible Car Parking** – Car accessible parking includes all barriers associated with the compliance of a car accessible space including signage, restriping, constructing or reconfiguring the pavement to accommodate the required number of accessible spaces.

**Accessible Approach and Entrances** – An entity providing accommodation to the public is required to take measures to provide access to a place of public accommodation from public sidewalks, parking, or public transportation. The DOJ and state building codes dictate the minimum width, cross and running slope, signage, and handrail requirements associated with pedestrian accessible routes of travel. These measures include, for example, installing an entrance ramp, correcting tripping hazards or lessening the slope of a curb ramp. At least one route of travel to each amenity or feature should be safe and accessible for everyone, including people with disabilities.

**Priority 2: Elements along the Accessible Route**- Barriers which occur along the path of travel shall be removed, where such a barrier removal is easily accomplishable. Examples include moving items within reach range, widening doors, installing accessible door hardware, and removing high-pile carpeting.

**Priority 3: Restroom Facilities**- Barrier removal may include widening of toilet stalls, installation of grab bars, replacement of sinks, and drinking fountains.

**Priority 4: Access to All Other Features and Amenities** – Measures are required to provide access to other areas. This priority is for items not required for basic access in the other three priorities.

**Priority 5: Employee-Only Areas**- Where employee-only areas are included in the assessment, employee only areas are designated as the lowest priority, as a method of placing public spaces as a higher priority for barrier removals.

## 2 ACCESSIBILITY

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Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of the programs, services, and activities on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG), and applicable state and local accessibility regulations to the maximum extent possible for providing programmatic access.

The scope of the Accessibility Assessment, as defined in the scope of work, is limited to exterior and interior areas covered by the ADA, and applicable state and local accessibility codes.

### 2.1 BARRIER SUMMARY TABLE

The following table summarizes the barriers that were identified. The costs provided are order of magnitude estimates. Costs will vary depending upon the location and volume of work performed. Individual observation details may be found in Appendix B.

## Barrier Summary Report

Id	ADA Master		Facility	Building	Assembly	Type	Barrier Priority	Detail	GPS Marker	Lat/Long	Location Description	ADA Ref. Number	Quantity	Cost	Unit	Region	Manager	Total
	Cost Id																	
240036	263		Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Door	1	The door has less than 32" clear width.	176		Unit 1847, 1921, 1923 and 1925	UFAS UFAS 4.13.5	4	\$1192	EA			\$4,768
240006	77		Marlborough Towne	INTERIOR COMMON AREAS	Entrance to Building	Building Entrance-Door	1	The accessible door takes less than 3 seconds to close.	146		Office	UFAS UFAS 4.13.10	1	\$366	EA			\$366
240008	236		Marlborough Towne	INTERIOR COMMON AREAS	Restroom	Restroom/Bathroom-Door	1	The restroom door does not have a compliant maneuvering clearance area.	148		Leasing Office Men's Restroom	UFAS UFAS 4.22.2; 4.13.6; Fig. 25	1	\$1250	EA			\$1,250
240003	1794		Marlborough Towne	EXTERIOR	Exterior Access Route	Exterior Accessible Route	1	The accessible route has cross slopes greater than 1:50 (2%).	143	+38.863232, -76.913252	From Marlboro Pike to Leasing Office	ADA 403.3	1650	\$19.82	SF			\$32,703
240004	1049		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The curb ramp does not meet the slope requirements.	144	+38.863481, -76.912959	Curb Ramp CR1	ADA 405.2; Table 405.2; 406; 406.2	1	\$1750	EA			\$1,750
240005	1758		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The curb ramp landing is not level. The slope of the curb ramp landing exceeds the maximum allowable 1:48 (2.08%).	145	+38.863799, -76.912357	Curb Ramp CR2	ADA 304; 406.4	1	\$1289	EA			\$1,289
240014	335		Marlborough Towne	EXTERIOR	Exterior Access Route	Exterior Accessible Route	1	The accessible route cross slope is greater than 1:50 (2%).	154	+38.863889, -76.912501	Sidewalk To Unit 1925	UFAS UFAS 4.3.7	240	\$19.82	SF			\$4,757
240041	5		Marlborough Towne	EXTERIOR	Exterior Access Route	Exterior Accessible Route	1	The exterior accessible route has vertical level changes in excess of 1/2" which are not ramped.	181	+38.863807, -76.912928	Sidewalk To Unit 1921	UFAS UFAS 4.5.2	4	\$19.82	SF			\$79
240042	56		Marlborough Towne	EXTERIOR	Accessible Parking	Parking Space-Car	1	The slope of the standard car parking space is greater than 1:50 (2%).	182	+38.863666, -76.913066	P1-1 and P1-2	UFAS UFAS 4.6.3	2	\$6300	EA			\$12,600
240043	60		Marlborough Towne	EXTERIOR	Accessible Parking	Parking Space-Car	1	The slope of the standard car access aisle is greater than 1:50 (2%).	183	+38.863616, -76.913134	P1-1 and P1-2	UFAS UFAS 4.6.3	1	\$5000	EA			\$5,000
240044	61		Marlborough Towne	EXTERIOR	Accessible Parking	Parking Space-Car	1	The standard car parking stall signage is not compliant.	184	+38.863579, -76.913139	P1-1 and P1-2	UFAS UFAS 4.6.4	2	\$280	EA			\$560
240045	1049		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The curb ramp does not meet the slope requirements.	185	+38.863591, -76.913087	Curb Ramp CR4	ADA 405.2; Table 405.2; 406; 406.2	1	\$1750	EA			\$1,750
240046	1049		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The curb ramp does not meet the slope requirements.	186	+38.863820, -76.912945	Curb Ramp CR3	ADA 405.2; Table 405.2; 406; 406.2	2	\$1750	EA			\$3,500
240047	61		Marlborough Towne	EXTERIOR	Accessible Parking	Parking Space-Car	1	The standard car parking stall signage is not compliant.	187	+38.863834, -76.912905	P1-3 and P1-4	UFAS UFAS 4.6.4	2	\$280	EA			\$560
240048	56		Marlborough Towne	EXTERIOR	Accessible Parking	Parking Space-Car	1	The slope of the standard car parking space is greater than 1:50 (2%).	188	+38.863828, -76.912954	P1-4	UFAS UFAS 4.6.3	1	\$6300	EA			\$6,300
240049	20		Marlborough Towne	EXTERIOR	Exterior Access Route	Exterior Access Route	1	The accessible route running slope is greater than 1:20 (5%) and the cross slope is greater than 1:50 (2%).	189	+38.863924, -76.912815	Sidewalk To Unit 1847	UFAS UFAS 4.3.7	120	\$19.82	SF			\$2,378
240460	3365		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The parallel curb ramp landing is not compliant.	193	+38.863820, -76.912945	Curb Ramp CR3	ADA 304, 406.4	2	\$1289	EA			\$2,578
241389	3365		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The parallel curb ramp landing is not compliant.	194	+38.863591, -76.913087	Curb Ramp CR4	ADA 304, 406.4	1	\$1289	EA			\$1,289
241390	3365		Marlborough Towne	EXTERIOR	Exterior Access Route	Curb Ramp	1	The parallel curb ramp landing is not compliant.	195	+38.863820, -76.912945	Curb Ramp CR3	ADA 304, 406.4	1	\$1289	EA			\$1,289
240016	71		Marlborough Towne	INTERIOR UNITS	Entrance to Building	Building Entrance-Door	2	The space between two doors in a series is less than 48".	156		Unit 1847, 1921, 1923 and 1925	UFAS UFAS 4.13.7	4	\$2600	EA			\$10,400
240018	297		Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Kitchen-General	2	Clearance between opposing cabinets, counters, appliances and walls is not compliant.	158		Unit 1847	UFAS UFAS 4.34.6.1	1	\$12000	EA			\$12,000
240012	25		Marlborough Towne	INTERIOR COMMON AREAS	Interior Access Route	Dining And Work Surface	2	The dining surface or work surface is not compliant.	152		Community Room	UFAS UFAS 4.3.8	3	\$601.5	LF			\$1,805
240456	2008		Marlborough Towne	INTERIOR COMMON AREAS	Restroom	Restroom/Bathroom-Door	2	The swinging door does not have a smooth surface within 10" of the ground measured vertically on the push side extending the full width of the door.	190		Leasing Office Women's Restroom	ADA 404.2.10	1	\$200	EA			\$200
240019	278		Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Restroom/Bathroom-Lavatory	3	Lavatory hot water and drain pipes are not insulated.	159		Unit 1847, 1923 and 1925	UFAS UFAS 4.19.4	3	\$65	EA			\$195
240022	268		Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Controls And Dispensers	3	The controls and operable parts are not within an allowable reach range.	162		Unit 1847, 1921, 1923 and 1925	UFAS UFAS 4.2.5, 4.2.6, 4.27	8	\$500	EA			\$4,000

**Total Barriers: 33, Total Cost: \$122,082**



Id	ADA Master	Facility	Building	Assembly	Type	Barrier Priority	Detail	GPS	Lat/Long	Location Description	ADA	Ref. Number	Quantity	Cost	Unit	Region	Manager	Total
	Cost Id							Marker										
240024	264	Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Door	3	The door does not have a compliant maneuvering clearance area.	164		Unit 1847, 1921, 1923 and 1925	UFAS	UFAS 4.13.6; Fig. 25	4	\$1250	EA			\$5,000
240007	239	Marlborough Towne	INTERIOR COMMON AREAS	Restroom	Restroom/Bathroom-Door	3	The hardware at the accessible door requires tight grasping, pinching or twisting of the wrist to operate.	147		Leasing Office Women's Restroom	UFAS	UFAS 4.13.9; 4.22.2; 4.29.3	1	\$293	EA			\$293
240009	239	Marlborough Towne	INTERIOR COMMON AREAS	Restroom	Restroom/Bathroom-Door	3	The hardware at the accessible door requires tight grasping, pinching or twisting of the wrist to operate.	149		Leasing Office Men's Restroom	UFAS	UFAS 4.13.9; 4.22.2; 4.29.3	1	\$293	EA			\$293
240010	1270	Marlborough Towne	INTERIOR COMMON AREAS	Restroom	Restroom/Bathroom-Water Closet	3	The water closet in a single user / unisex restroom does not have the required clearance.	150		Office Women's Restroom	ADA	604	1	\$1368	EA			\$1,368
240458	1666	Marlborough Towne	INTERIOR COMMON AREAS	Portable Restroom	Restroom/Bathroom-Door	3	The accessible door with door closer has a sweep period of less than 5 seconds from 90 degrees to a position 12 degrees from latch.	191		Leasing Office Men's Restroom	ADA	404.2.8	1	\$93	EA			\$93
240459	2291	Marlborough Towne	INTERIOR COMMON AREAS	Interior Access Route	Signage	3	Means of egress signage is not provided.	192		Community Room	ADA	216.4, 703.1, 703.4	2	\$55	EA			\$110
240021	296	Marlborough Towne	INTERIOR UNITS	Residential Dwelling	Reach Range	4	The clothes rod is mounted higher than 54".	161		Unit 1847, 1921, 1923 and 1925	UFAS	UFAS 4.25.3	4	\$200	EA			\$800
240011	1604	Marlborough Towne	INTERIOR COMMON AREAS	Kitchen	Kitchen-Range/Cooktop/Oven	4	The location of the controls requires reaching across burners.	151		Community Kitchen	ADA	804.6.4; 804.6.5.3	1	\$759	EA			\$759

**Total Barriers: 33, Total Cost: \$122,082**

### 3 CERTIFICATION

Bureau Veritas has completed a Title II Accessibility Assessment of the subject property, Marlborough Town, 1847 Tanow Place, District Heights, Prince George's County, Maryland 20747. The site was visited on May 20, 2021.

The assessment was performed at the Client's request using methods and procedures consistent with good commercial and customary practice for assessing compliance with the Title II provisions of the Americans with Disabilities Act (ADA) and applicable state and local requirements.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.


This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

The opinions Bureau Veritas expresses in this report were formed utilizing the degree of skill and care ordinarily exercised by an architect or engineer in the same community under similar circumstances. Bureau Veritas assumes no responsibility or liability for the accuracy of information contained in this report which has been obtained from the Client or the Client's representatives, from other interested parties, or from the public domain. The conclusions presented represent Bureau Veritas's professional judgment based on information obtained during the course of this assignment. The conclusions presented are based on the data provided, observations made, and conditions that existed specifically on the date of the assessment.

Bureau Veritas certifies that Bureau Veritas has no undisclosed interest in the subject property, Bureau Veritas's relationship with the Client is at arm's-length, and that Bureau Veritas's employment and compensation are not contingent upon the findings or order of magnitude estimated costs to remove barriers.

If you have any questions regarding this report, please contact Program Manager Bryon Scott at [Bryon.Scott@BureauVeritas.com](mailto:Bryon.Scott@BureauVeritas.com) or at (800) 766-0660, x6625.

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## 4 APPENDICES

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APPENDIX A: SITE PLAN

APPENDIX B: RECORD OF INDIVIDUAL BARRIERS

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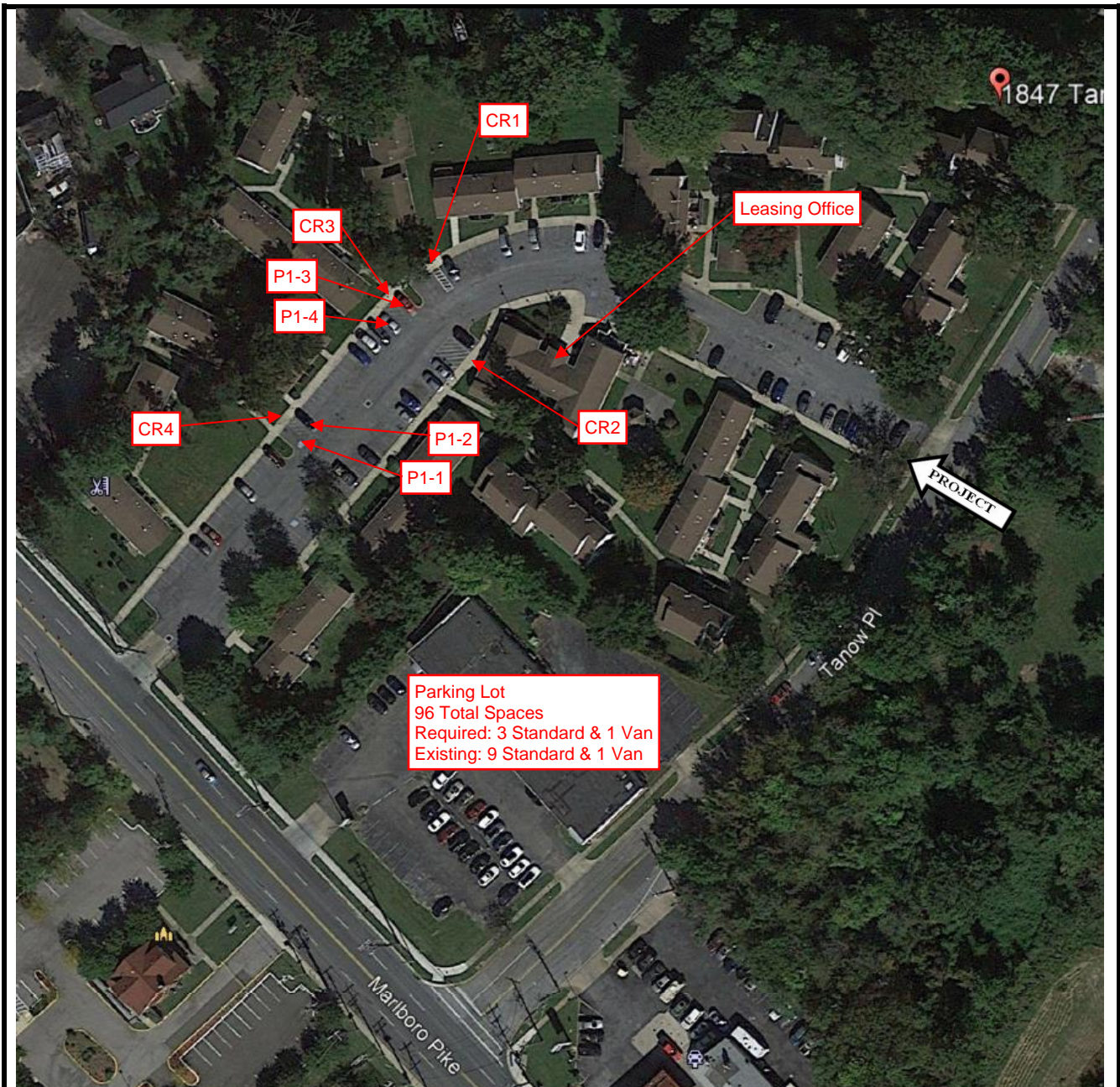
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**APPENDIX A:  
SITE PLAN**

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# Site Plan



	<p><b>Source:</b> Google Earth</p> <p><b>Legend:</b> P# - # - Accessible Parking Space CR#- Curb Ramp</p>	<p><b>Project Number:</b> 145366.21R00-005.160</p>
	<p>The north arrow indicator is an approximation of 0° North.</p>	<p><b>Project Name:</b> Marlborough Town</p>
<p><b>On-Site Date:</b> May 20, 2021</p>		

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**APPENDIX B:  
RECORD OF INDIVIDUAL BARRIERS**

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# Marlborough Towne EXTERIOR

<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Curb Ramp
<b>ADA Standard</b>	405.2; Table 405.2; 406; 406.2
<b>Barrier Detail</b>	The curb ramp does not meet the slope requirements.
<b>Location Description</b>	Curb Ramp CR1
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions**

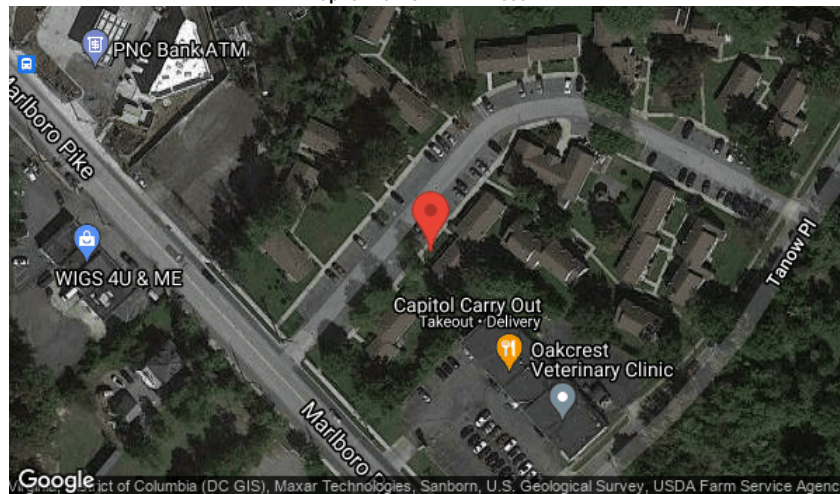
The left ramp run of the parallel curb ramp has a running slope of up to 11.3%.

**Resolution**

The curb ramp should be removed and replaced with a compliant curb ramp with no greater than the maximum allowable slopes of a ramp. Curb ramp runs shall have a running slope not steeper than 1:12 (8.33%). Cross slope of curb ramp runs shall not be steeper than 1:48. The running slope in new construction shall be 1:12 (8.33%) maximum. [EXCEPTION: In existing sites, buildings, and facilities built before 1/26/92, ramps and curb ramps shall be permitted to have running slopes steeper than 1:12 where such slopes are necessary due to space limitations. In facilities built before 1/26/92, the running slope can be 1:10 to 1:8 (10% to 12.5%) for a maximum rise of 3" OR 1:10 to 1:12 (8.3% to 10%) for a maximum rise of 6".] Where flares are provided, flare slopes shall not be greater than 1:10 (10%). [EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.]

Quantity	Unit Cost	Total Cost
1 EA	1750	\$ 1,750
<b>Priority</b>	1	

Map for Barrier ID: AX240004



144 +38.863481, -76.912959

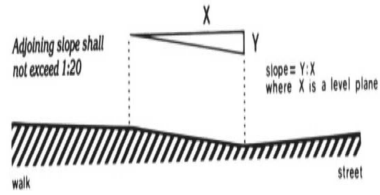


Figure 11  
Measurement of Curb Ramp Slopes



Table 2 -- Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed.

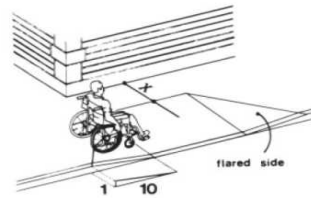


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides

# Marlborough Towne EXTERIOR

**Assembly** Exterior Access Route

**Type** Curb Ramp

**ADA Standard** 304; 406.4

**Barrier Detail**

The curb ramp landing is not level. The slope of the curb ramp landing exceeds the maximum allowable 1:48 (2.08%).

**Location Description** Curb Ramp CR2

**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions** The bottom curb ramp landing has a slope of up to 3.7%.

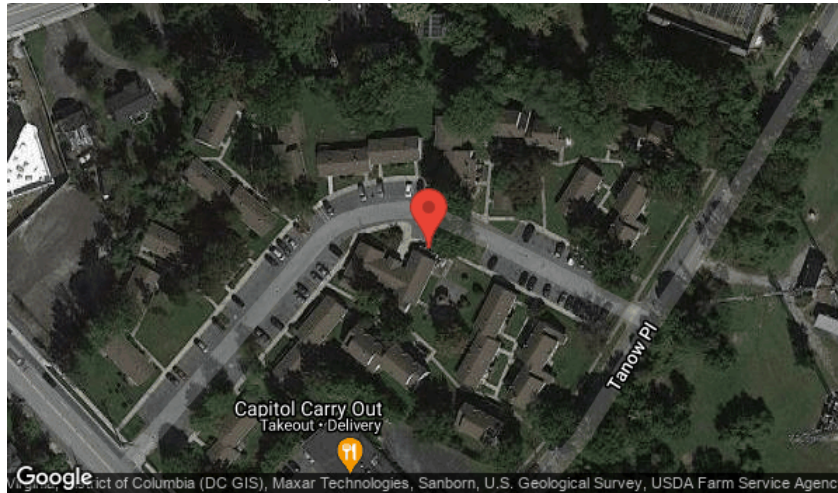
**Resolution**

Provide a level landing at the top of the curb ramp with maximum slope 1:48 (2.08%). The landing clear length shall be 36" minimum. The landing clear width shall be at least as wide as the curb ramp, excluding flared sides. Changes in level are not permitted. Slopes not steeper than 1:48 shall be permitted. [EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.] The landing slope may have maximum 1:20 (5%) running slope, if the sidewalk is parallel/continuous with the running slope of the curb ramp, and a sidewalk with the dominant path of travel perpendicular to the dominant path of travel of the curb ramp is not provided.

Quantity	Unit Cost	Total Cost
1 EA	1289	\$ 1,289

**Priority** 1

Map for Barrier ID: AX240005



145 +38.863799, -76.912357

**Photos for Barrier ID: AX240005**



## Marlborough Towne EXTERIOR

<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Curb Ramp
<b>ADA Standard</b>	405.2; Table 405.2; 406; 406.2
<b>Barrier Detail</b>	The curb ramp does not meet the slope requirements.
<b>Location Description</b>	Curb Ramp CR3
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The right ramp run and the left ramp run has running slopes of up to 11.6%.

### Resolution

The curb ramp should be removed and replaced with a compliant curb ramp with no greater than the maximum allowable slopes of a ramp. Curb ramp runs shall have a running slope not steeper than 1:12 (8.33%). Cross slope of curb ramp runs shall not be steeper than 1:48. The running slope in new construction shall be 1:12 (8.33%) maximum. [EXCEPTION: In existing sites, buildings, and facilities built before 1/26/92, ramps and curb ramps shall be permitted to have running slopes steeper than 1:12 where such slopes are necessary due to space limitations. In facilities built before 1/26/92, the running slope can be 1:10 to 1:8 (10% to 12.5%) for a maximum rise of 3" OR 1:10 to 1:12 (8.3% to 10%) for a maximum rise of 6".] Where flares are provided, flare slopes shall not be greater than 1:10 (10%). [EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.]

Quantity	Unit Cost	Total Cost
2 EA	1750	\$ 3,500
<b>Priority</b>	1	

Map for Barrier ID: AX240046



186 +38.863820, -76.912945





Table 2 – Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed.

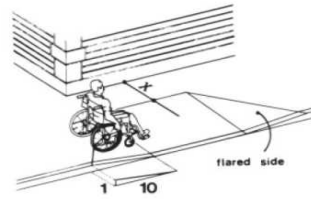


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides

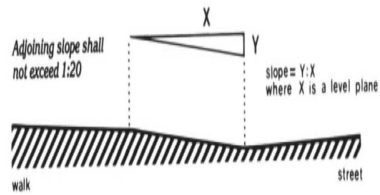


Figure 11  
Measurement of Curb Ramp Slopes





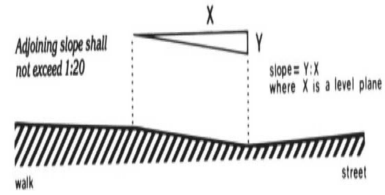


Figure 11  
Measurement of Curb Ramp Slopes

Table 2 -- Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed.

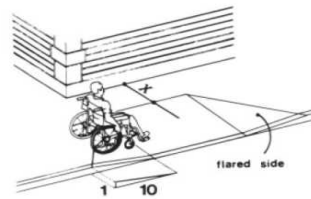
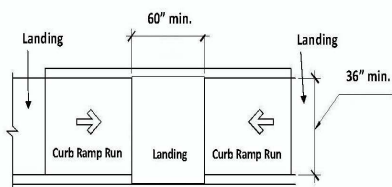


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides

## Marlborough Towne EXTERIOR

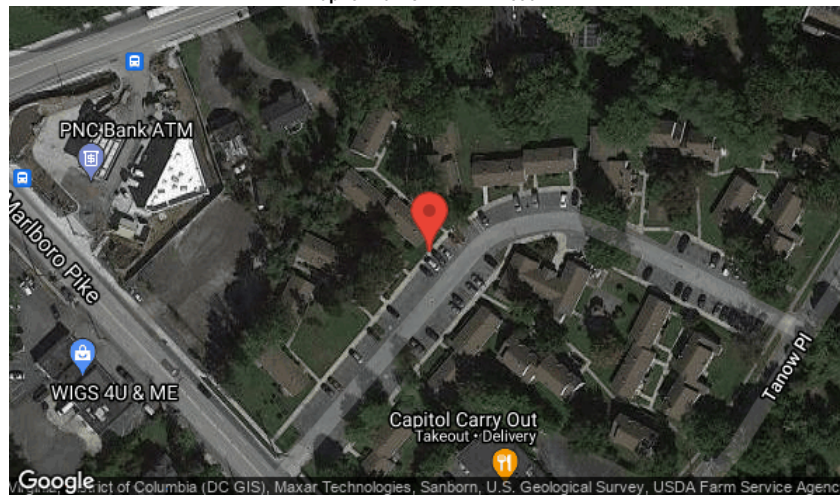
<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Curb Ramp
<b>ADA Standard</b>	304, 406.4
<b>Barrier Detail</b>	The parallel curb ramp landing is not compliant.
<b>Location Description</b>	Curb Ramp CR3
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The bottom curb ramp landing has running slopes of up to 2.2%.

### Resolution

Reconstruct the landings at the bottom and top of the parallel curb ramp. The bottom landing clear width shall be 60" minimum to allow for a 90 degree turn. The top landing clear width shall be at least as wide as the curb ramp run leading to the landing, and minimum 36" long. The slope of landings shall be maximum 1:48 (2.08%) in any direction.

Quantity	Unit Cost	Total Cost
1 EA	1289	\$ 1,289
<b>Priority</b>	1	

Map for Barrier ID: AX241390



195 +38.863820, -76.912945

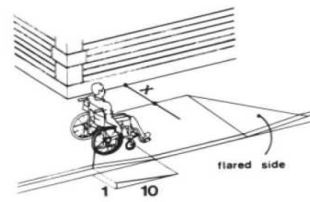
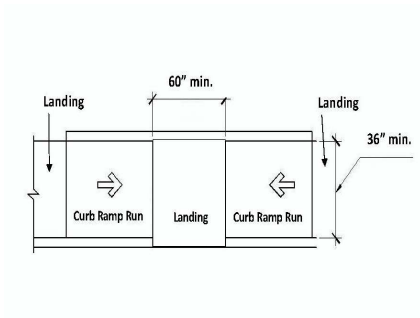


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides

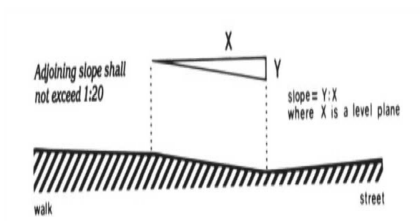


Figure 11  
Measurement of Curb Ramp Slopes

Table 2 – Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed.

## Marlborough Towne EXTERIOR

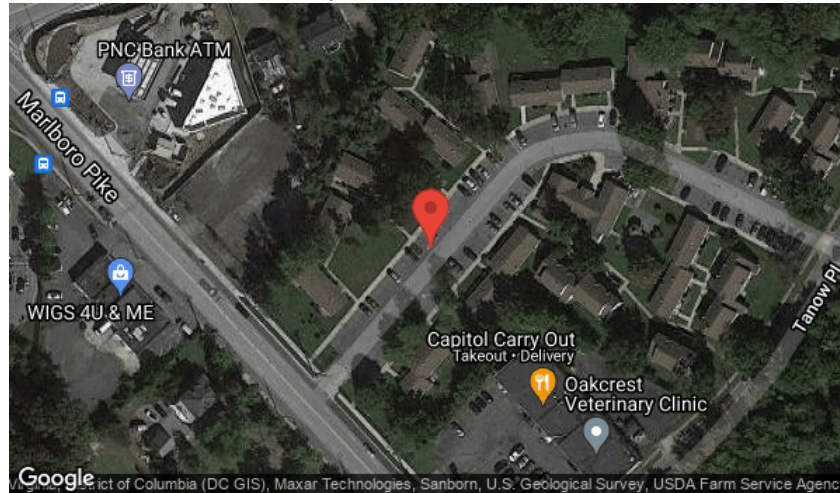
<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Curb Ramp
<b>ADA Standard</b>	405.2; Table 405.2; 406; 406.2
<b>Barrier Detail</b>	The curb ramp does not meet the slope requirements.
<b>Location Description</b>	Curb Ramp CR4
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The curb ramp has a running slope of up to 11.9%.

### Resolution

The curb ramp should be removed and replaced with a compliant curb ramp with no greater than the maximum allowable slopes of a ramp. Curb ramp runs shall have a running slope not steeper than 1:12 (8.33%). Cross slope of curb ramp runs shall not be steeper than 1:48. The running slope in new construction shall be 1:12 (8.33%) maximum. [EXCEPTION: In existing sites, buildings, and facilities built before 1/26/92, ramps and curb ramps shall be permitted to have running slopes steeper than 1:12 where such slopes are necessary due to space limitations. In facilities built before 1/26/92, the running slope can be 1:10 to 1:8 (10% to 12.5%) for a maximum rise of 3" OR 1:10 to 1:12 (8.3% to 10%) for a maximum rise of 6".] Where flares are provided, flare slopes shall not be greater than 1:10 (10%). [EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.]

Quantity	Unit Cost	Total Cost
1 EA	1750	\$ 1,750
<b>Priority</b>	1	

Map for Barrier ID: AX240045



185 +38.863591, -76.913087



Table 2 -- Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed.

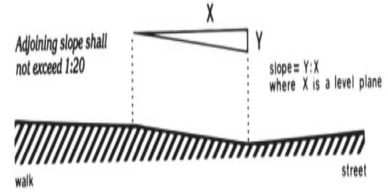


Figure 11  
Measurement of Curb Ramp Slopes

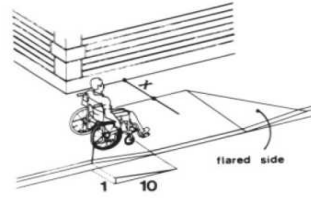


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides



## Marlborough Towne EXTERIOR

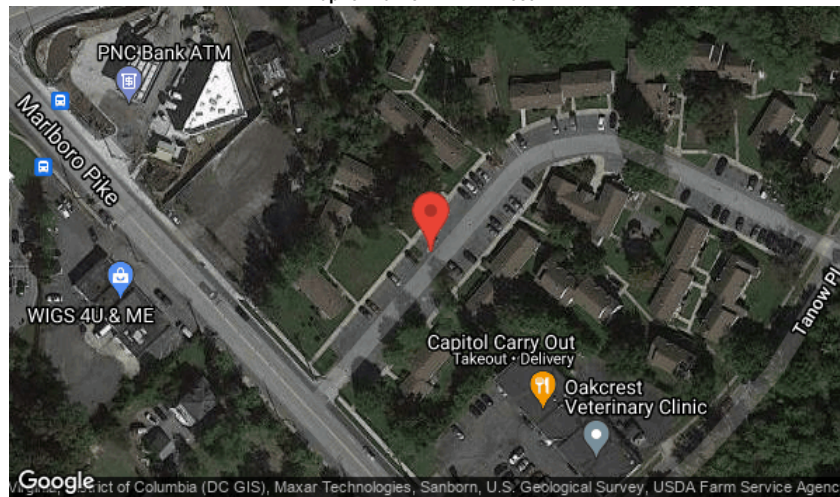
<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Curb Ramp
<b>ADA Standard</b>	304, 406.4
<b>Barrier Detail</b>	The parallel curb ramp landing is not compliant.
<b>Location Description</b>	Curb Ramp CR4
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The bottom curb ramp landing has a running slope of up to 3.8%.

### Resolution

Reconstruct the landings at the bottom and top of the parallel curb ramp. The bottom landing clear width shall be 60" minimum to allow for a 90 degree turn. The top landing clear width shall be at least as wide as the curb ramp run leading to the landing, and minimum 36" long. The slope of landings shall be maximum 1:48 (2.08%) in any direction.

Quantity	Unit Cost	Total Cost
1 EA	1289	\$ 1,289
<b>Priority</b>	1	

Map for Barrier ID: AX241389



194 +38.863591, -76.913087





Table 2 -- Allowable Ramp Dimensions for Construction in Existing Sites, Buildings, and Facilities

Slope*	Maximum Rise	Maximum Run
Steeper than 1:10 but no steeper than 1:8	3 in 75 mm	2 ft 0.6 m
Steeper than 1:12 but no steeper than 1:10	6 in 150 mm	5 ft 1.5 m

\* A slope steeper than 1:8 not allowed

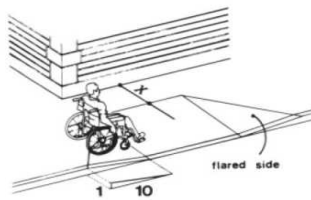
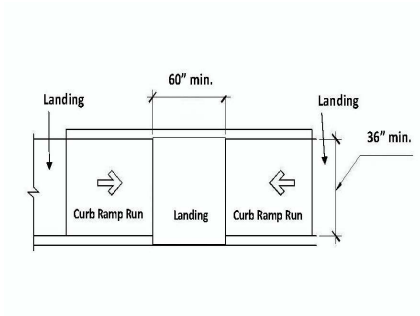


Figure 12(a)  
Sides of Curb Ramps  
Flared Sides

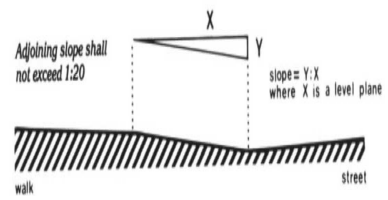


Figure 11  
Measurement of Curb Ramp Slopes

## Marlborough Towne EXTERIOR

<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Exterior Accessible Route
<b>ADA Standard</b>	403.3
<b>Barrier Detail</b>	The accessible route has cross slopes greater than 1:50 (2%).
<b>Location Description</b>	From Marlboro Pike to Leasing Office
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

### Site Conditions

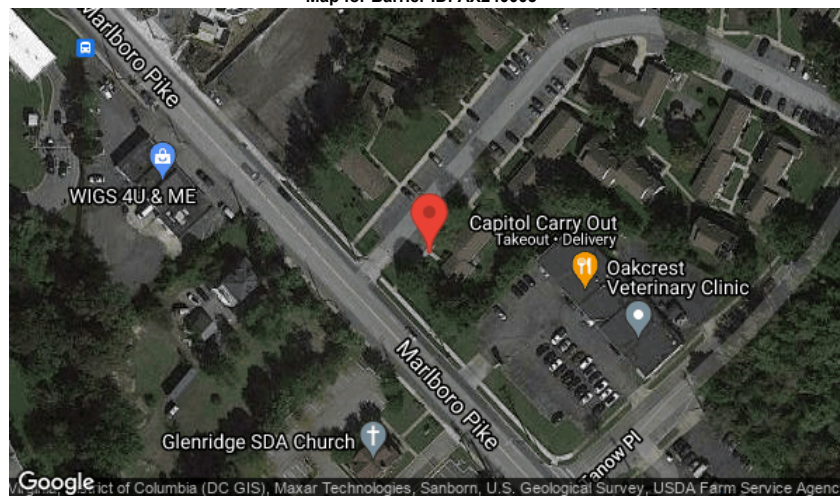
The accessible route has a cross slope of up to 3.0% for a distance of approximately 330' by 5' wide.

### Resolution

The walkway should be graded to a maximum 1:50 (2%) cross slope. An accessible route has maximum 1:20 (5%) running slope and maximum 1:50 (2%) cross slope. [EXCEPTION: Cross slopes not exceeding 1:48 (2.08%) are permitted.] The clear width of walking surfaces shall be 36" minimum. [EXCEPTION: The clear width shall be permitted to be reduced to 32" minimum for a length of 24" maximum provided that reduced width segments are separated by segments that are 48" long minimum and 36" wide minimum.] Where grading to maximum running slope of 1:20 (5% running slope) is not possible, provide a compliant ramped surface within the walkway with maximum slope 1:12 (8.33%) and maximum ramp run rise of 6" without handrails. If a ramped surface with running slopes greater than 1:20 (5%) and maximum 1:12 (8.33%) rises more than 6", handrails are required. The cost estimate for this barrier removal is based on grading the running slope to maximum 1:20 (5%). The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

Quantity	Unit Cost	Total Cost
1650 SF	19.82	\$ 32,703
<b>Priority</b>	<b>1</b>	

Map for Barrier ID: AX240003



143 +38.863232, -76.913252



## Marlborough Towne INTERIOR COMMON AREAS

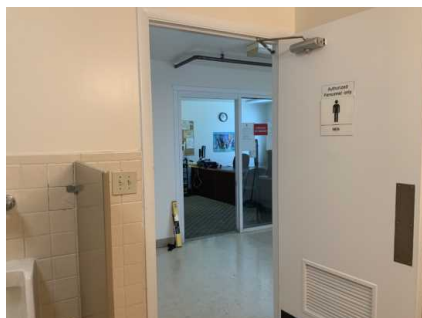
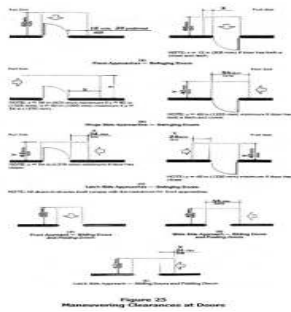
<b>Assembly</b>	Restroom
<b>Type</b>	Restroom/Bathroom-Door
<b>ADA Standard</b>	UFAS 4.22.2; 4.13.6; Fig. 25
<b>Barrier Detail</b>	The restroom door does not have a compliant maneuvering clearance area.
<b>Location Description</b>	Leasing Office Men's Restroom
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	For a front approach on the pull side the side clearance is 15".

**Resolution**

Replace the maneuvering clearance area. Provide compliant level and clear maneuvering clearances at accessible doors. Redesign to provide the required maneuvering clearance at the door. The required depth of the maneuvering clearance is 60" minimum. The required side clearance is 18" minimum on the latch side of the door. Maneuvering clearance shall extend the full width of the doorway and the required latch side clearance. Changes in level are not permitted. Minimum maneuvering clearances at doors that are not automatic or power-assisted shall be as shown in Fig. 25. The floor or ground area within the required clearances shall be level and clear.

Quantity	Unit Cost	Total Cost
1 EA	1250	\$ 1,250
<b>Priority</b>	1	

**Photos for Barrier ID: AX240008**



## Marlborough Towne INTERIOR COMMON AREAS

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<b>Assembly</b>	Entrance to Building
<b>Type</b>	Building Entrance-Door
<b>ADA Standard</b>	UFAS 4.13.10
<b>Barrier Detail</b>	The accessible door takes less than 3 seconds to close.
<b>Location Description</b>	Office
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

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### Site Conditions

The front door to the office has a closing speed of up to 2.83 seconds from a 70° open position to within 3" of the latch, measured to the leading edge of the door.

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### Resolution

Adjust the door closer so that the sweep period is at least 3 seconds from a 70° open position to within 3" of the latch, measured to the leading edge of the door. If a door has a closer, then the sweep period of the closer shall be adjusted so that from an open position of 70 degrees, the door will take at least 3 seconds to move to a point 3" from the latch, measured to the leading edge of the door.

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Quantity	Unit Cost	Total Cost
1 EA	366	\$ 366
<b>Priority</b>	1	

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### Photos for Barrier ID: AX240006





## Marlborough Towne EXTERIOR

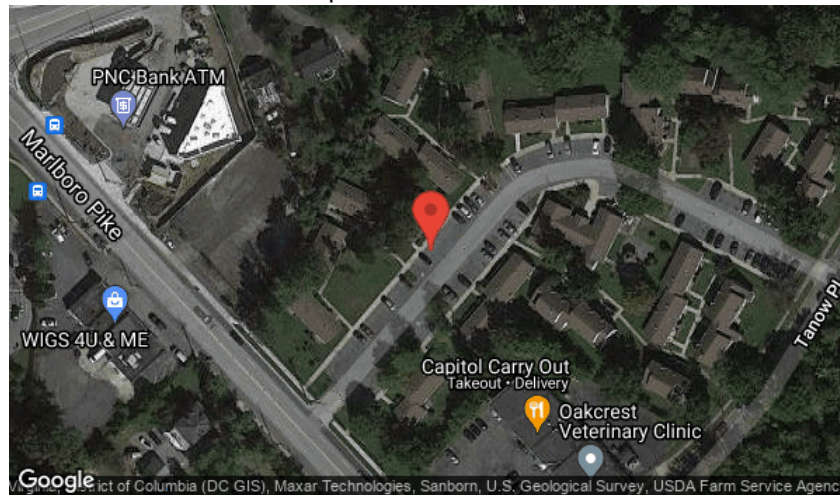
<b>Assembly</b>	Accessible Parking
<b>Type</b>	Parking Space-Car
<b>ADA Standard</b>	UFAS 4.6.3
<b>Barrier Detail</b>	The slope of the standard car parking space is greater than 1:50 (2%).
<b>Location Description</b>	P1-1 and P1-2
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The parking spaces have a running slope of up to 5.3%.

**Resolution**

Remove and replace with a parking space that has no more than 1:50 (2%) slope in all directions. Parking spaces for disabled people shall be at least 96" wide and shall have an adjacent access aisle 60" wide minimum (see Fig. 9). [EXCEPTION: If accessible parking spaces for vans are provided, each should have an adjacent access aisle at least 96" wide.] Parking access aisles shall be part of an accessible route to the building or facility entrance. Two accessible parking spaces may share a common access aisle. Parked vehicle overhangs shall not reduce the clear width of an accessible circulation route. Parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 in all directions. The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

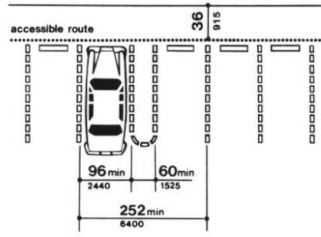
Quantity	Unit Cost	Total Cost
2 EA	6300	\$ 12,600
<b>Priority</b>	1	

Map for Barrier ID: AX240042



182 +38.863666, -76.913066





## Marlborough Towne EXTERIOR

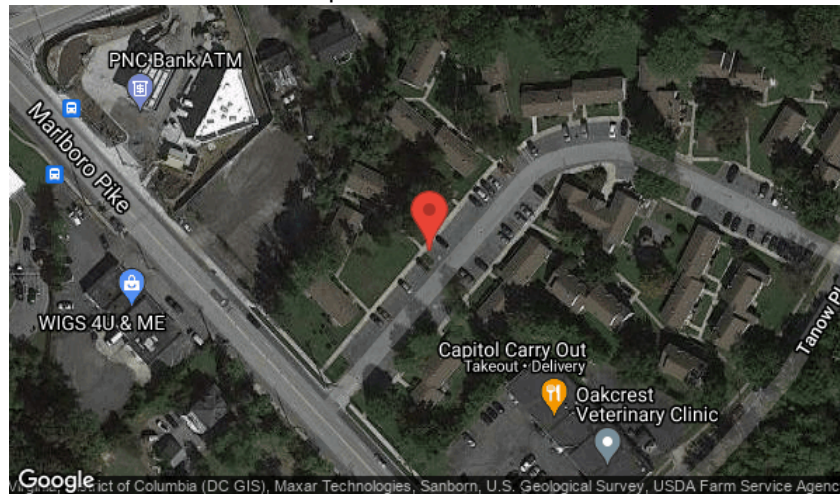
<b>Assembly</b>	Accessible Parking
<b>Type</b>	Parking Space-Car
<b>ADA Standard</b>	UFAS 4.6.3
<b>Barrier Detail</b>	The slope of the standard car access aisle is greater than 1:50 (2%).
<b>Location Description</b>	P1-1 and P1-2
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The access aisle has a running g slope of up to 4.6%.

### Resolution

Remove and replace with an adjacent access aisle that is at least 60" wide and has a maximum slope of 1:50 (2%) in all directions. Parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 in all directions. Parking access aisles shall be part of an accessible route to the building or facility entrance. Parked vehicle overhangs shall not reduce the clear width of an accessible circulation route. The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

Quantity	Unit Cost	Total Cost
1 EA	5000	\$ 5,000
<b>Priority</b>	1	

Map for Barrier ID: AX240043



183 +38.863616, -76.913134

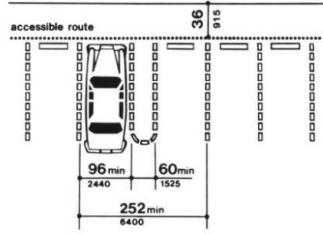


Figure 9  
Dimensions of Parking Spaces

## Marlborough Towne EXTERIOR

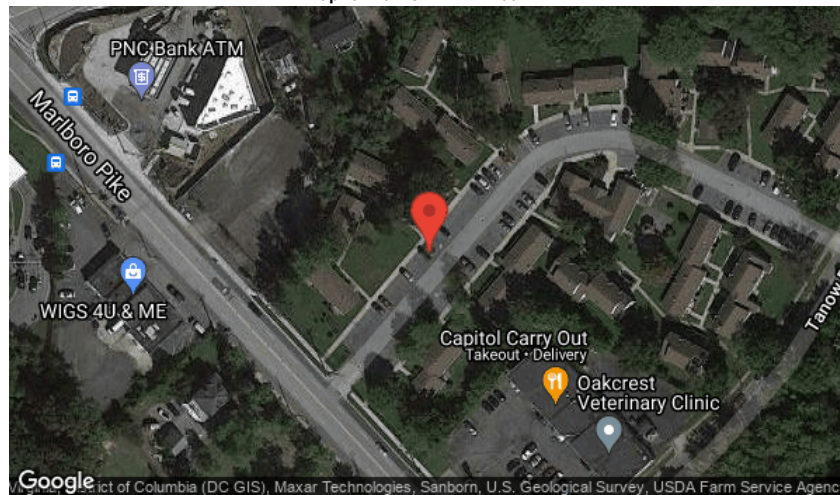
<b>Assembly</b>	Accessible Parking
<b>Type</b>	Parking Space-Car
<b>ADA Standard</b>	UFAS 4.6.4
<b>Barrier Detail</b>	The standard car parking stall signage is not compliant.
<b>Location Description</b>	P1-1 and P1-2
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The standard space signage does not have fine information provided.

### Resolution

Provide signage for the standard car parking stall showing the International Symbol of Accessibility. Accessible parking spaces shall be designated as reserved for the disabled by a sign showing the International Symbol of Accessibility. Such signs shall not be obscured by a vehicle parked in the space. This barrier applies only to non-public parking in residential developments. Other applicable federal, state and local regulations may supercede this barrier, and have stricter requirements.

Quantity	Unit Cost	Total Cost
2 EA	280	\$ 560
<b>Priority</b>	1	

Map for Barrier ID: AX240044



184 +38.863579, -76.913139



60  
Proportions  
International Symbol of Accessibility



100  
Display Conditions  
International Symbol of Accessibility

**Figure 43(a)**  
**International Symbol of Accessibility**  
**Proportions**



## Marlborough Towne EXTERIOR

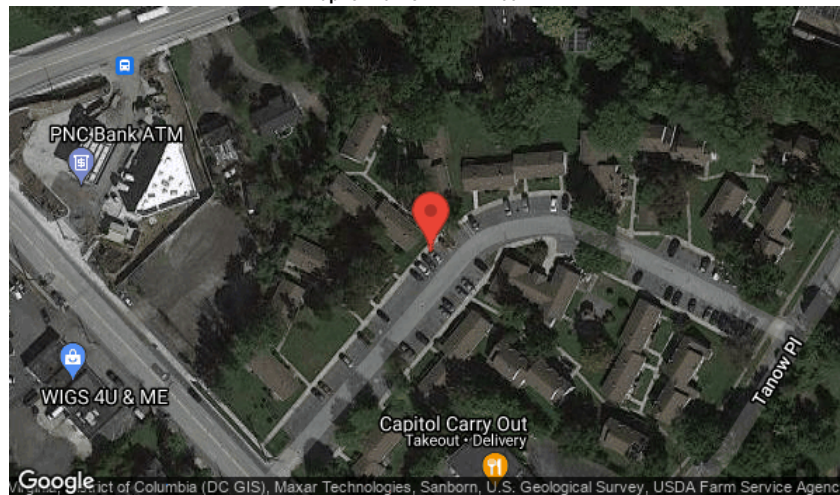
<b>Assembly</b>	Accessible Parking
<b>Type</b>	Parking Space-Car
<b>ADA Standard</b>	UFAS 4.6.4
<b>Barrier Detail</b>	The standard car parking stall signage is not compliant.
<b>Location Description</b>	P1-3 and P1-4
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The standard accessible signage does not contain information on fines.

### Resolution

Provide signage for the standard car parking stall showing the International Symbol of Accessibility. Accessible parking spaces shall be designated as reserved for the disabled by a sign showing the International Symbol of Accessibility. Such signs shall not be obscured by a vehicle parked in the space. This barrier applies only to non-public parking in residential developments. Other applicable federal, state and local regulations may supercede this barrier, and have stricter requirements.

Quantity	Unit Cost	Total Cost
2 EA	280	\$ 560
<b>Priority</b>	1	

Map for Barrier ID: AX240047



187 +38.863834, -76.912905



6a) Proportions International Symbol of Accessibility



6b) Display Conditions International Symbol of Accessibility

**Figure 43(a)**  
**International Symbol of Accessibility**  
**Proportions**

## Marlborough Towne EXTERIOR

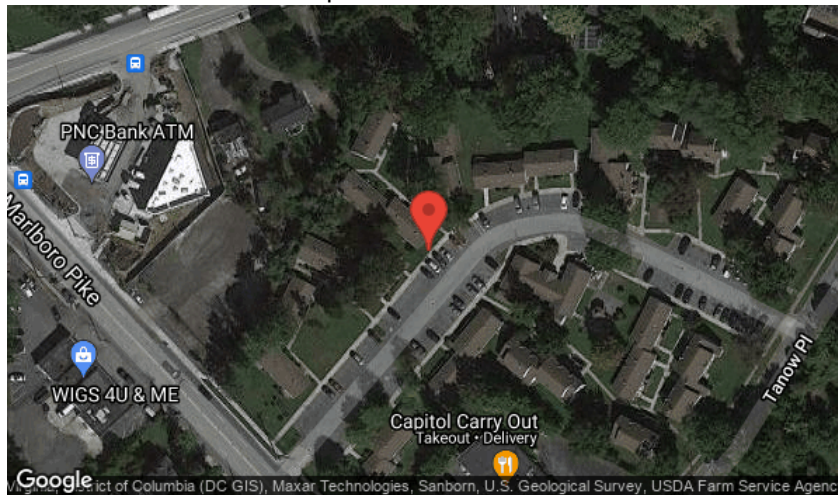
<b>Assembly</b>	Accessible Parking
<b>Type</b>	Parking Space-Car
<b>ADA Standard</b>	UFAS 4.6.3
<b>Barrier Detail</b>	The slope of the standard car parking space is greater than 1:50 (2%).
<b>Location Description</b>	P1-4
<b>Observed</b>	May 17, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The accessible space has a vertical change of up to 3 1/2".

### Resolution

Remove and replace with a parking space that has no more than 1:50 (2%) slope in all directions. Parking spaces for disabled people shall be at least 96" wide and shall have an adjacent access aisle 60" wide minimum (see Fig. 9). [EXCEPTION: If accessible parking spaces for vans are provided, each should have an adjacent access aisle at least 96" wide.] Parking access aisles shall be part of an accessible route to the building or facility entrance. Two accessible parking spaces may share a common access aisle. Parked vehicle overhangs shall not reduce the clear width of an accessible circulation route. Parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 in all directions. The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

Quantity	Unit Cost	Total Cost
1 EA	6300	\$ 6,300
<b>Priority</b>	1	

Map for Barrier ID: AX240048



188 +38.863828, -76.912954

### Photos for Barrier ID: AX240048





# Marlborough Towne EXTERIOR

**Assembly** Exterior Access Route

**Type** Exterior Access Route

**ADA Standard** UFAS 4.3.7

**Barrier Detail**

The accessible route running slope is greater than 1:20 (5%) and the cross slope is greater than 1:50 (2%).

**Location Description** Sidewalk To Unit 1847

**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions**

The accessible route has a cross slope of up to 2.6% for an distance of approximately 30' by 4' wide.

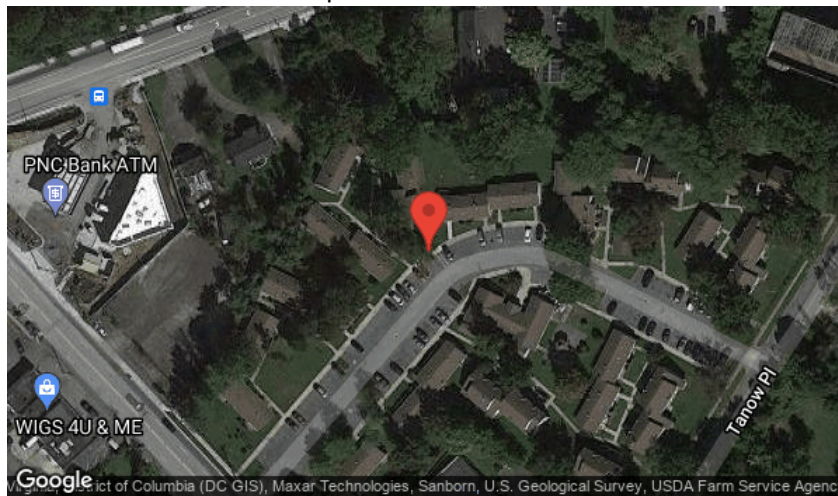
**Resolution**

Remove and replace the accessible route with compliant slopes. An accessible route has maximum 1:20 (5%) running slope, maximum 1:50 (2%) cross slope, and minimum 36" clear width. [EXCEPTION: The accessible route may be minimum 32" wide at doors/gates or at a point]. An accessible route with a running slope greater than 1:20 is a ramp. Nowhere shall the cross slope of an accessible route exceed 1:50. The minimum clear width of an accessible route shall be 36" except at doors. If an accessible route has less than 60" clear width, then passing spaces at least 60" by 60" shall be located at reasonable intervals not to exceed 200 linear feet. A T-intersection of two corridors or walks is an acceptable passing place. The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

Quantity	Unit Cost	Total Cost
120 SF	19.82	\$ 2,378

**Priority** 1

Map for Barrier ID: AX240049



189 +38.863924, -76.912815

Photos for Barrier ID: AX240049



# Marlborough Towne EXTERIOR

**Assembly** Exterior Access Route

**Type** Exterior Accessible Route

**ADA Standard** UFAS 4.5.2

**Barrier Detail**

The exterior accessible route has vertical level changes in excess of 1/2" which are not ramped.

**Location Description** Sidewalk To Unit 1921

**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions** The accessible route has a vertical change of up to 1 1/4".

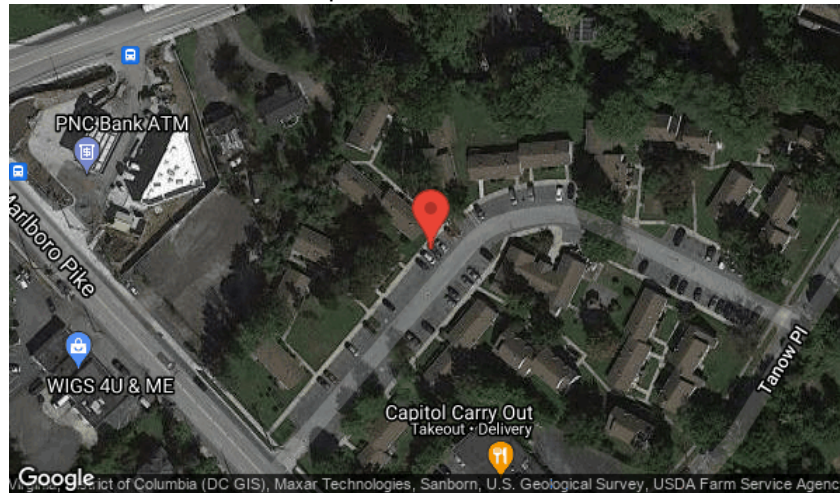
**Resolution**

Eliminate vertical changes in level greater than 1/2" which are not ramped. Changes in level up to 1/4" may be vertical and without edge treatment. Changes in level between 1/4" and 1/2" shall be beveled with a slope no greater than 1:2. Changes in level greater than 1/2" shall be accomplished by means of a ramp.

Quantity	Unit Cost	Total Cost
4 SF	19.82	\$ 79

**Priority** 1

Map for Barrier ID: AX240041



181 +38.863807, -76.912928



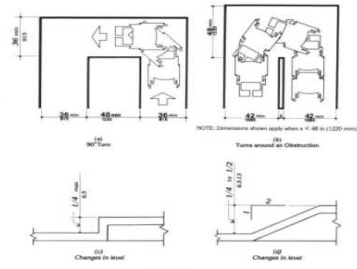


Figure 7  
Width of Accessible Route



## Marlborough Towne EXTERIOR

<b>Assembly</b>	Exterior Access Route
<b>Type</b>	Exterior Accessible Route
<b>ADA Standard</b>	UFAS 4.3.7
<b>Barrier Detail</b>	The accessible route cross slope is greater than 1:50 (2%).
<b>Location Description</b>	Sidewalk To Unit 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

### Site Conditions

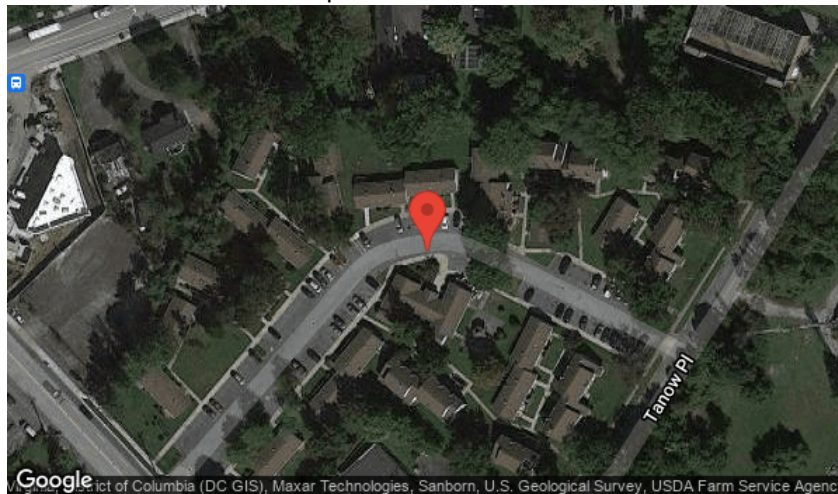
The accessible route has a cross slope of up to 3.1% for a distance of approximately 60' by 4' wide.

### Resolution

Remove and replace the accessible route with a compliant cross slope not greater than 1:50 (2%). An accessible route has maximum 1:50 (2%) cross slope, maximum 1:20 (5%) running slope, and minimum 36" clear width. [EXCEPTION: The accessible route may be minimum 32" wide at doors/gates or at a point]. An accessible route with a running slope greater than 1:20 is a ramp. Nowhere shall the cross slope of an accessible route exceed 1:50. The minimum clear width of an accessible route shall be 36" except at doors. If an accessible route has less than 60" clear width, then passing spaces at least 60" by 60" shall be located at reasonable intervals not to exceed 200 linear feet. A T-intersection of two corridors or walks is an acceptable passing place. Where grading to maximum running slope of 1:20 (5% running slope) is not possible, provide a compliant ramped surface within the walkway with maximum slope 1:12 (8.33%) and maximum ramp run rise of 6" without handrails. If a ramped surface with running slopes greater than 1:20 (5%) and maximum 1:12 (8.33%) rises more than 6" or extends more than 72", handrails are required. A compliant ramp has maximum 1:12 (8.3%) running slope, maximum ramp run rise 30", landings at the top and bottom of ramp runs, handrails where the ramp run rise is greater than 6" or extends more than 72", and edge protection with exceptions. The cost estimate for this barrier removal is based on grading the running slope to maximum 1:20 (5%). The quantity and order of magnitude cost estimate provided for this barrier are limited to the extent of the area identified as non-compliant. Additional costs that may be associated with removal of the barrier are not included.

Quantity	Unit Cost	Total Cost
240 SF	19.82	\$ 4,757
<b>Priority</b>	1	

Map for Barrier ID: AX240014



154 +38.863889, -76.912501



## Marlborough Towne INTERIOR UNITS

<b>Assembly</b>	Residential Dwelling
<b>Type</b>	Door
<b>ADA Standard</b>	UFAS 4.13.5
<b>Barrier Detail</b>	The door has less than 32" clear width.
<b>Location Description</b>	Unit 1847, 1921, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The bedroom doors have clear widths of up to 30".

### Resolution

Remove and replace with a door that has a minimum clear opening of 32" with the door open at 90°, measured from the face of the door to the stop (See Figures 24(a) through (d)). Openings more than 24" in depth shall have minimum clear width for single wheelchair passage of 32" at a point and 36" continuously (see Figure 24(e)). The minimum clear width of an accessible route shall be 36" except at doors.

Quantity	Unit Cost	Total Cost
4 EA	1192	\$ 4,768
<b>Priority</b>	1	

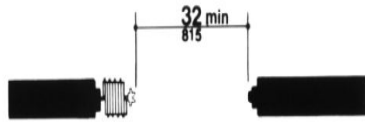


Figure 24(d)  
Clear Doorway Width and Depth  
Folding Door

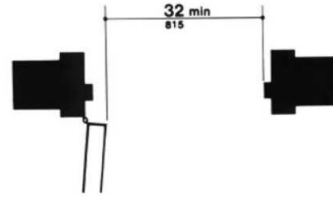


Figure 24(a)  
Clear Doorway Width and Depth  
Detail

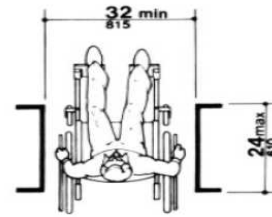


Figure 24(e)  
Clear Doorway Width and Depth  
Maximum Doorway Depth

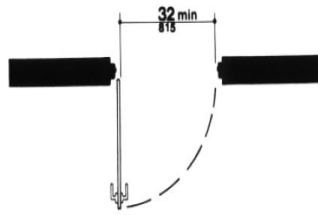
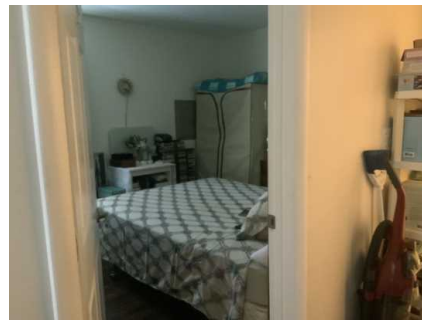


Figure 24(b)  
Clear Doorway Width and Depth  
Hinged Door

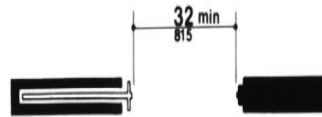


Figure 24(c)  
Clear Doorway Width and Depth  
Sliding Door



## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Interior Access Route
<b>Type</b>	Dining And Work Surface
<b>ADA Standard</b>	UFAS 4.3.8
<b>Barrier Detail</b>	The dining surface or work surface is not compliant.
<b>Location Description</b>	Community Room
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

### Site Conditions

The knee and toe clearance at the computer work stations is 25-1/2" above the floor.

### Resolution

Provide a dining or work surface with the top of the surface from 28" to 34" high. The tops of tables and work surfaces shall be from 28" to 34" from the floor or ground. If seating for people in wheelchairs is provided at tables, counters, and work surfaces, knee spaces at least 27" high, 30" wide, and 19" deep shall be provided (see Fig. 45).

Quantity	Unit Cost	Total Cost
3 LF	601.5	\$ 1,805
<b>Priority</b>	2	

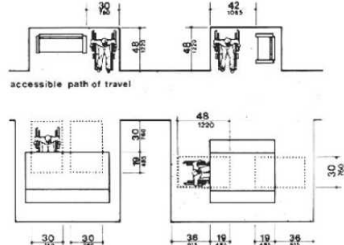


Figure 45  
Minimum Clearances for Seating and Tables



Table A1 -- Convenient Heights of Work Surfaces for Seated People\*

Conditions of Use	Short Women		Tall Men	
	in	mm	in	mm
Seated in a wheelchair; Manual work; Desk or removable armrests	26	660.30	26	760
Fixed, full-size armrests**	32****	815.32****	32****	815
Light, detailed work; Desk or removable armrests	29	735.34	29	865
Fixed, full-size armrests**	32****	815.34	32****	865
Seated in a 16-in (405-mm) -high chair:				
Manual work	26	660.27	26	685
Light, detailed work	28	710.31	28	785

\* All dimensions are based on a work-surface thickness of 1-1/2 in (38 mm) and a clearance of 1-1/2 in (38 mm) between legs and the underside of a work surface.

\*\* This type of wheelchair arm does not interfere with the positioning of a wheelchair under a work surface.

\*\*\*\* This dimension is limited by the height of the armrests; a lower height would be preferable. Some people in this group prefer lower work surfaces, which require positioning the wheelchair back from the edge of the counter.

## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Restroom
<b>Type</b>	Restroom/Bathroom-Door
<b>ADA Standard</b>	404.2.10

**Barrier Detail**

The swinging door does not have a smooth surface within 10" of the ground measured vertically on the push side extending the full width of the door.

**Location Description** Leasing Office Women's Restroom

**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions**

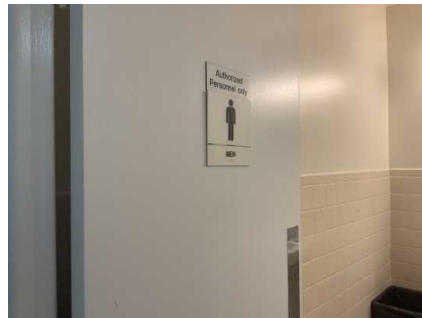
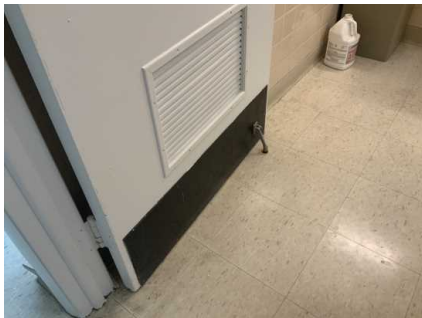
The hold open hardware interferes with the required smooth surface of the door.

**Resolution**

Provide a swinging door with a smooth surface within 10" of the finish floor or ground measured vertically on the push side extending the full width of the door. Parts creating horizontal or vertical joints in the surfaces shall be within 1/16" of the same plane as the other. Cavities created by adding kick plates shall be capped.

Quantity	Unit Cost	Total Cost
1 EA	200	\$ 200
<b>Priority</b>	2	

**Photos for Barrier ID: AX240456**



## Marlborough Towne INTERIOR UNITS

**Assembly** Residential Dwelling

**Type** Kitchen-General

**ADA Standard** UFAS 4.34.6.1

**Barrier Detail**

Clearance between opposing cabinets, counters, appliances and walls is not compliant.

**Location Description** Unit 1847

**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

**Site Conditions**

The clear width between the opposing cabinets, counters and appliances is 34".

**Resolution**

Reconfigure to provide compliant clearances. Clearances between all opposing base cabinets, counter tops, appliances, or walls shall be 40" minimum, except in U-shaped kitchens, where such clearance shall be 60" minimum.

Quantity	Unit Cost	Total Cost
1 EA	12000	\$ 12,000
<b>Priority</b>	<b>2</b>	

**Photos for Barrier ID: AX240018**



## Marlborough Towne INTERIOR UNITS

<b>Assembly</b>	Entrance to Building
<b>Type</b>	Building Entrance-Door
<b>ADA Standard</b>	UFAS 4.13.7
<b>Barrier Detail</b>	The space between two doors in a series is less than 48".
<b>Location Description</b>	Unit 1847, 1921, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The units have storm doors that interfere with the 48" clear width.

### Resolution

Redesign the doorways. The minimum space between two hinged or pivoted doors in a series shall be 48" plus the width of any door swinging into the space. Doors in a series shall swing either in the same direction or saway from the space between the doors. See Figure 26.

Quantity	Unit Cost	Total Cost
4 EA	2600	\$ 10,400
<b>Priority</b>	2	

### Photos for Barrier ID: AX240016

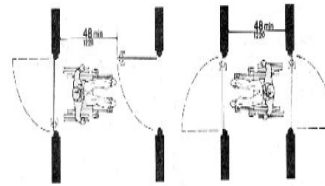


Figure 26  
Two Hinged Doors in Series





# Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Interior Access Route
<b>Type</b>	Signage
<b>ADA Standard</b>	216.4, 703.1, 703.4
<b>Barrier Detail</b>	Means of egress signage is not provided.
<b>Location Description</b>	Community Room
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	Means of egress signage with tactile characters is not provided at the exits.

**Resolution**

Provide compliant means of egress signage at each exit passageway, exit discharge, and exit stairway. Signs at designated egress passageways, stairways, exit doors and areas of refuge shall include tactile signage. Signs shall be installed alongside the door at the latch side. [EXCEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without hold-open devices.] Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the inactive leaf. Where a tactile sign is provided at double doors with two active leaves, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, sign shall be located on the nearest adjacent wall. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided. Signs containing tactile characters shall be located so that clear floor space of 18" minimum by 18" minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degrees open. Raised characters shall be compliant and shall be duplicated in Braille. Raised characters shall be as follows- Depth: Raised characters shall be 1/32" minimum above their background. Case: Characters shall be uppercase. Style: Characters shall be sans serif. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms. Character Proportions: Characters shall be selected from fonts where the width of the uppercase letter "O" is 55% minimum and 110% maximum of the height of the uppercase letter "I". Character Height: Character height measured vertically from the baseline of the character shall be 5/8" minimum and 2" maximum based on the height of the uppercase letter "I". [EXCEPTION: Where separate raised and visual characters with the same information are provided, raised character height shall be permitted to be 1/2" minimum.]

Quantity	Unit Cost	Total Cost
2 EA	55	\$ 110
<b>Priority</b>	<b>3</b>	

**Photos for Barrier ID: AX240459**

Table A1 -- Convenient Heights of Work Surfaces for Seated People\*

Conditions of Use	Short Women		Tall Men	
	in	mm	in	mm
Seated in a wheelchair: Manual work: Desk or removable armrests	26	660.30	26	660.30
Fixed, full-size armrests**	32***	815.32***	32***	815.32***
Light, detailed work: Desk or removable armrests	29	735.34	29	735.34
Fixed, full-size armrests**	32***	815.34	32***	865
Seated in a 16-in (405-mm) high chair:				
Manual work	26	660.27	26	660.27
Light, detailed work	28	710.31	28	710.31

\* All dimensions are based on a work-surface thickness of 1-1/2 in (38 mm) and a clearance of 1-1/2 in (38 mm) between legs and the underside of a work surface.  
 \*\* This type of wheelchair arm does not interfere with the positioning of a wheelchair under a work surface.  
 \*\*\* This dimension is limited by the height of the armrests: a lower height would be preferable. Some people in this group prefer lower work surfaces, which requires positioning the wheelchair back from the edge of the counter.

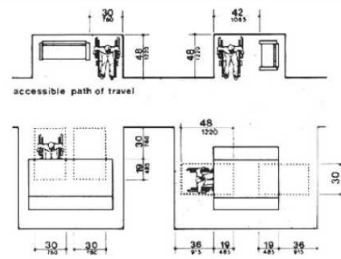


Figure 45  
Minimum Clearances for Seating and Tables



## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Restroom
<b>Type</b>	Restroom/Bathroom-Door
<b>ADA Standard</b>	UFAS 4.13.9; 4.22.2; 4.29.3

**Barrier Detail**

The hardware at the accessible door requires tight grasping, pinching or twisting of the wrist to operate.

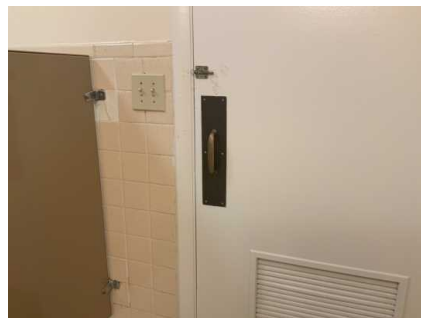
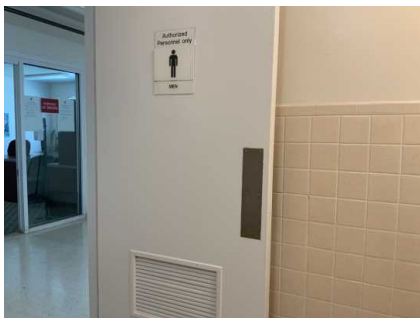
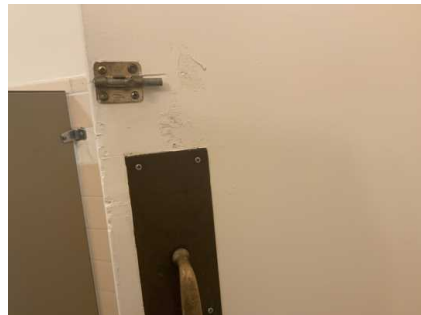
<b>Location Description</b>	Leasing Office Men's Restroom
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The door has locking hardware that requires tight grasping to operate.

**Resolution**

Remove hardware and replace with hardware that has a shape that is easy to grasp such as lever, push-type or U-shaped handles. Handles, pulls, latches, locks, and other operating devices on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate. Lever-operated mechanisms, push-type mechanisms, and U-shaped handles are acceptable designs. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides. In dwelling units, only doors at accessible entrances to the unit itself shall comply. Mount hardware required for accessible door passage no higher than 48" above finished floor. Doors to hazardous areas shall have hardware complying with the following: Doors that lead to areas that might prove dangerous to a blind person (for example, doors to loading platforms, boiler rooms, stages, and the like) shall be made identifiable to the touch by a textured surface on the door handle, knob, pull or other operating hardware. This textured surface may be made by knurling or roughing or by a material applied to the contact surface. Such textured surfaces shall not be provided for emergency exit doors or any doors other than those to hazardous areas.

Quantity	Unit Cost	Total Cost
1 EA	293	\$ 293
<b>Priority</b>	3	

**Photos for Barrier ID: AX240009**



## Marlborough Towne INTERIOR COMMON AREAS

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<b>Assembly</b>	Portable Restroom
<b>Type</b>	Restroom/Bathroom-Door
<b>ADA Standard</b>	404.2.8

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**Barrier Detail**

The accessible door with door closer has a sweep period of less than 5 seconds from 90 degrees to a position 12 degrees from latch.

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**Location Description** Leasing Office Men's Restroom

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**Observed** May 20, 2021 by Ouraccessibleworld@gmail.com

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**Site Conditions**

The door has a closing speed of up to 3.81 seconds from 90 degrees to a position 12 degrees from latch.

**Resolution**

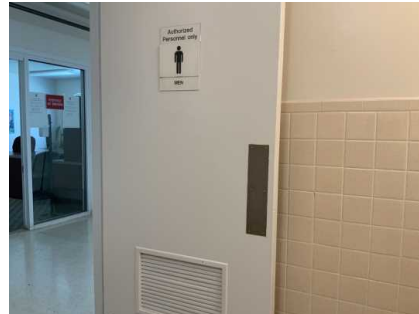
Adjust closer "OR" Remove and replace closer to ensure that the door has a closure time of at least 5 seconds within 12 degrees of the latch. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.

---

Quantity	Unit Cost	Total Cost
1 EA	93	\$ 93
<b>Priority</b>	3	

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**Photos for Barrier ID: AX240458**



## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Restroom
<b>Type</b>	Restroom/Bathroom-Door
<b>ADA Standard</b>	UFAS 4.13.9; 4.22.2; 4.29.3

### Barrier Detail

The hardware at the accessible door requires tight grasping, pinching or twisting of the wrist to operate.

<b>Location Description</b>	Leasing Office Women's Restroom
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<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
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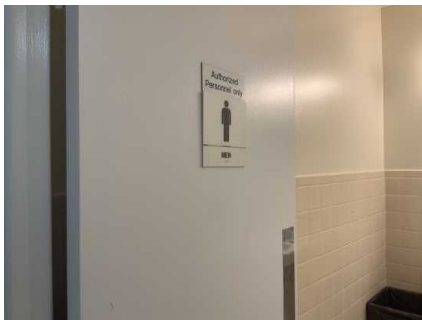
### Site Conditions

The door hardware on the women's restroom requires tight grasping and twisting to operate.

### Resolution

Remove hardware and replace with hardware that has a shape that is easy to grasp such as lever, push-type or U-shaped handles. Handles, pulls, latches, locks, and other operating devices on accessible doors shall have a shape that is easy to grasp with one hand and does not require tight grasping, tight pinching, or twisting of the wrist to operate. Lever-operated mechanisms, push-type mechanisms, and U-shaped handles are acceptable designs. When sliding doors are fully open, operating hardware shall be exposed and usable from both sides. In dwelling units, only doors at accessible entrances to the unit itself shall comply. Mount hardware required for accessible door passage no higher than 48" above finished floor. Doors to hazardous areas shall have hardware complying with the following: Doors that lead to areas that might prove dangerous to a blind person (for example, doors to loading platforms, boiler rooms, stages, and the like) shall be made identifiable to the touch by a textured surface on the door handle, knob, pull or other operating hardware. This textured surface may be made by knurling or roughing or by a material applied to the contact surface. Such textured surfaces shall not be provided for emergency exit doors or any doors other than those to hazardous areas.

Quantity	Unit Cost	Total Cost
1 EA	293	\$ 293
<b>Priority</b>	3	





## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Restroom
<b>Type</b>	Restroom/Bathroom-Water Closet
<b>ADA Standard</b>	604

**Barrier Detail**

The water closet in a single user / unisex restroom does not have the required clearance.

<b>Location Description</b>	Office Women's Restroom
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<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
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**Site Conditions**

The clear space at the water closet is 55" measured perpendicular from the side wall to the edge of the lavatory.

**Resolution**

Redesign to provide compliant water closet clearance. Clearance around a water closet shall be 60" minimum measured perpendicular from the side wall and 56" minimum measured perpendicular from the rear wall. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16" minimum to 18" maximum from the side wall or partition, except that the water closet shall be 17" minimum and 19" maximum from the side wall or partition in the ambulatory accessible toilet compartment. Water closets shall be arranged for a left-hand or right-hand approach. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions, such as lavatories, shall be located within the required water closet clearance. [ADVISORY: It is advisable, but not required, to use the specifications for children where children are the primary users of the restroom. Guidance in applying the specifications for children according to the age group served reflects the differences in the size, stature, and reach ranges of children ages 3 to 12. The specifications chosen should correspond to the age of the primary user group. The specifications of one age group should be applied consistently in the installation of a water closet and related elements. Water Closet Centerline: Ages 3 and 4- 12"; Ages 5 through 8- 12" to 15"; Ages 9 through 12- 15" to 18". Toilet Seat Height: Ages 3 and 4- 11" to 12"; Ages 5 through 8- 12" to 15"; Ages 9 through 12- 15" to 17". Grab Bar Height: Ages 3 and 4- 18" to 20"; Ages 5 through 8- 20" to 25"; Ages 9 through 12- 25" to 27"; Dispenser Height: Ages 3 and 4- 14"; Ages 5 through 8- 14" to 17"; Ages 9 through 12- 17" to 19"].

Quantity	Unit Cost	Total Cost
1 EA	1368	\$ 1,368

<b>Priority</b>	3
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**Photos for Barrier ID: AX240010**



## Marlborough Towne INTERIOR UNITS

<b>Assembly</b>	Residential Dwelling
<b>Type</b>	Controls And Dispensers
<b>ADA Standard</b>	UFAS 4.2.5, 4.2.6, 4.27
<b>Barrier Detail</b>	The controls and operable parts are not within an allowable reach range.
<b>Location Description</b>	Unit 1847, 1921, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The switches and thermostats are mounted up to 54" above the floor.

### Resolution

Provide controls and operable parts within an allowable reach range. A clear floor space 30" by 48" shall be provided that allows either a front approach or a parallel approach by a person using a wheelchair at controls, dispensers, receptacles, and other operable equipment. If the clear floor space only allows forward approach to an object, the maximum high forward reach allowed shall be 48" (see Figure 5(a)). The minimum low forward reach is 15". If the high forward reach is over an obstruction, where the horizontal obstruction is less than 20" the maximum high forward reach is 48". Where the horizontal obstruction is from 20" to maximum 25", the high forward reach shall be 44" maximum. Forward obstructed reaches shall comply with Figure 5(b). If the clear floor space allows parallel approach by a person in a wheelchair, the maximum high side reach allowed shall be 54", and the low side reach shall be no less than 9" above the floor (Figure 6(a) and (b)). If the side reach is over an obstruction, the maximum horizontal reach shall be 24" and the high side reach shall be 46" maximum. Side obstructed clearances shall be as shown in Figure 6(c). Those portions of heating, ventilating and air conditioning equipment requiring regular, periodic maintenance and adjustment by the resident of a dwelling shall be accessible people in wheelchairs. If air distribution registers must be placed in or close to ceiling for proper air circulation, this specification shall not apply to the registers.

Quantity	Unit Cost	Total Cost
8 EA	500	\$ 4,000
<b>Priority</b>	3	

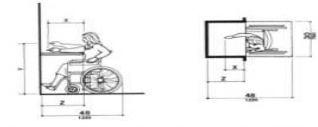
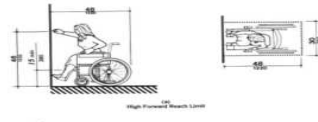


Figure 5 Forward Reach

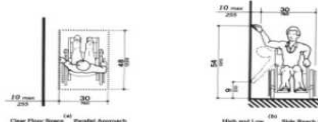


Figure 6 Side Reach



# Marlborough Towne INTERIOR UNITS

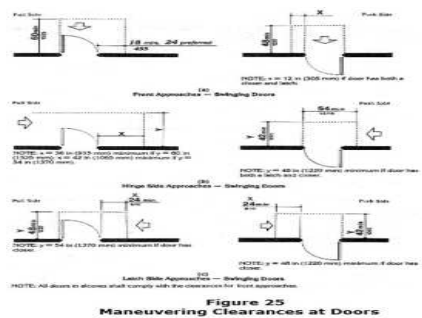
<b>Assembly</b>	Residential Dwelling
<b>Type</b>	Door
<b>ADA Standard</b>	UFAS 4.13.6; Fig. 25
<b>Barrier Detail</b>	The door does not have a compliant maneuvering clearance area.
<b>Location Description</b>	Unit 1847, 1921, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	For a front approach on the pull side the side clearance is 14" .

**Resolution**

Redesign to provide the required maneuvering clearance at the door. Provide compliant level and clear maneuvering clearances at accessible doors. The required depth of the maneuvering clearance is 60" minimum. The required side clearance is 18" minimum on the latch side of the door. Maneuvering clearance shall extend the full width of the doorway and the required latch side clearance. Changes in level are not permitted. Minimum maneuvering clearances at doors that are not automatic or power-assisted shall be as shown in Fig. 25. The floor or ground area within the required clearances shall be level and clear.

Quantity	Unit Cost	Total Cost
4 EA	1250	\$ 5,000
<b>Priority</b>	3	

**Photos for Barrier ID: AX240024**



## Marlborough Towne INTERIOR UNITS

<b>Assembly</b>	Residential Dwelling
<b>Type</b>	Restroom/Bathroom-Lavatory
<b>ADA Standard</b>	UFAS 4.19.4
<b>Barrier Detail</b>	Lavatory hot water and drain pipes are not insulated.
<b>Location Description</b>	Unit 1847, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The lavatory drain pipes and water supply lines are not insulated.

### Resolution

Insulate hot water and drain pipes under the accessible lavatory. Hot water and drain pipes under lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories.

Quantity	Unit Cost	Total Cost
3 EA	65	\$ 195
<b>Priority</b>	3	

### Photos for Barrier ID: AX240019





## Marlborough Towne INTERIOR COMMON AREAS

<b>Assembly</b>	Kitchen
<b>Type</b>	Kitchen- Range/Cooktop/Oven
<b>ADA Standard</b>	804.6.4; 804.6.5.3
<b>Barrier Detail</b>	The location of the controls requires reaching across burners.
<b>Location Description</b>	Community Kitchen
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com

### Site Conditions

The stove is not self cleaning and has controls that require reaching over the heating elements.

### Resolution

Replace the stove or oven with a unit that does not require reaching across burners to access the controls. The location of controls shall not require reaching across burners.

Quantity	Unit Cost	Total Cost
1 EA	759	\$ 759
<b>Priority</b>	<b>4</b>	

### Photos for Barrier ID: AX240011



## Marlborough Towne INTERIOR UNITS

<b>Assembly</b>	Residential Dwelling
<b>Type</b>	Reach Range
<b>ADA Standard</b>	UFAS 4.25.3
<b>Barrier Detail</b>	The clothes rod is mounted higher than 54".
<b>Location Description</b>	Unit 1847, 1921, 1923 and 1925
<b>Observed</b>	May 20, 2021 by Ouraccessibleworld@gmail.com
<b>Site Conditions</b>	The closet rod and shelf are mounted up to 65" above the floor.

### Resolution

Relocate the clothes rod with the centerline of the clothes rod maximum 54" above the finished floor. Clothes rods shall be a maximum of 54" above the finished floor, measured to the centerline of the rod.

Quantity	Unit Cost	Total Cost
4 EA	200	\$ 800
<b>Priority</b>	4	

### Photos for Barrier ID: AX240021

